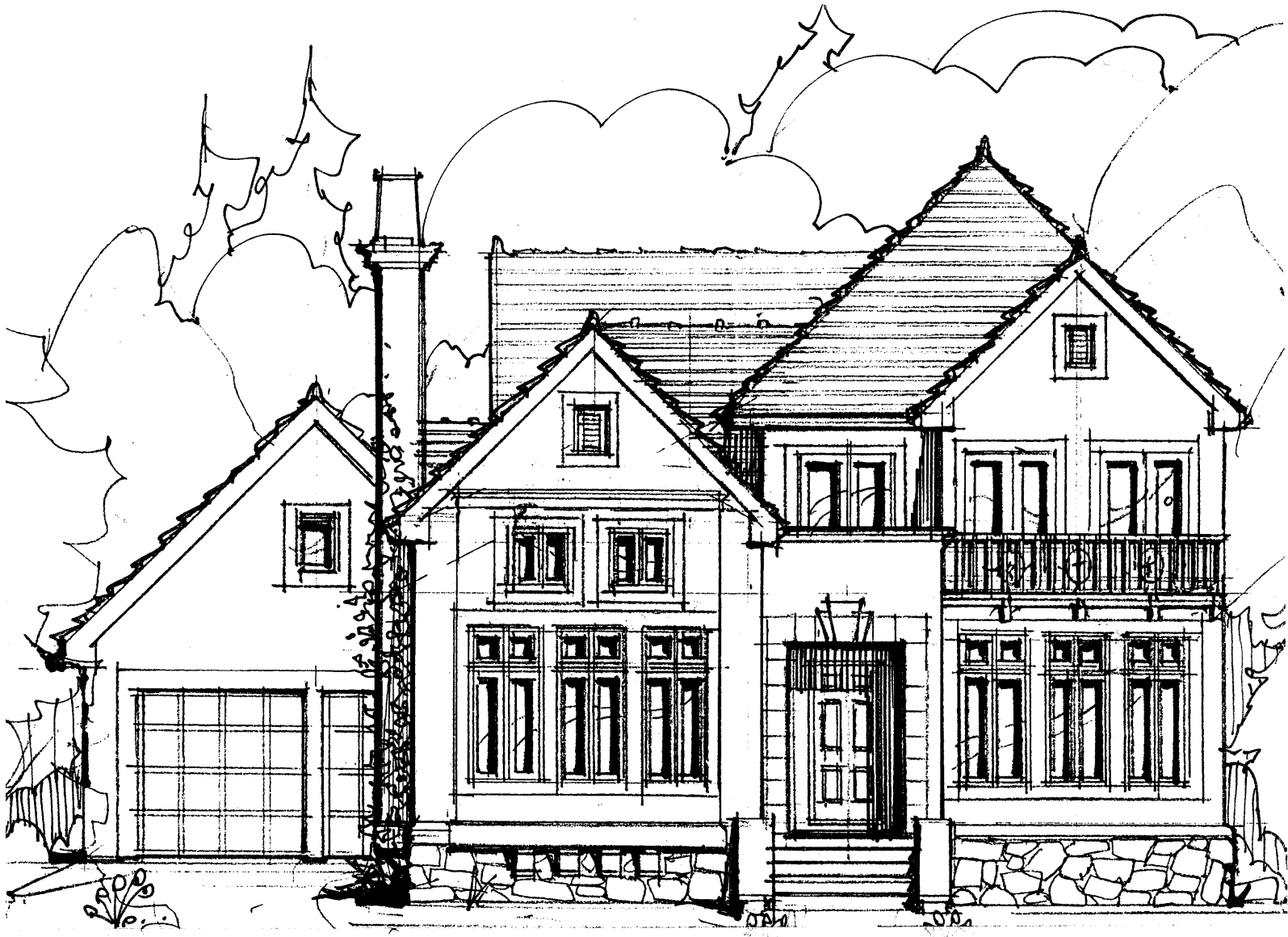


STEP-BY-STEP GUIDEBOOK FOR DESIGNING YOUR DREAM HOME



J. Mack Nelson

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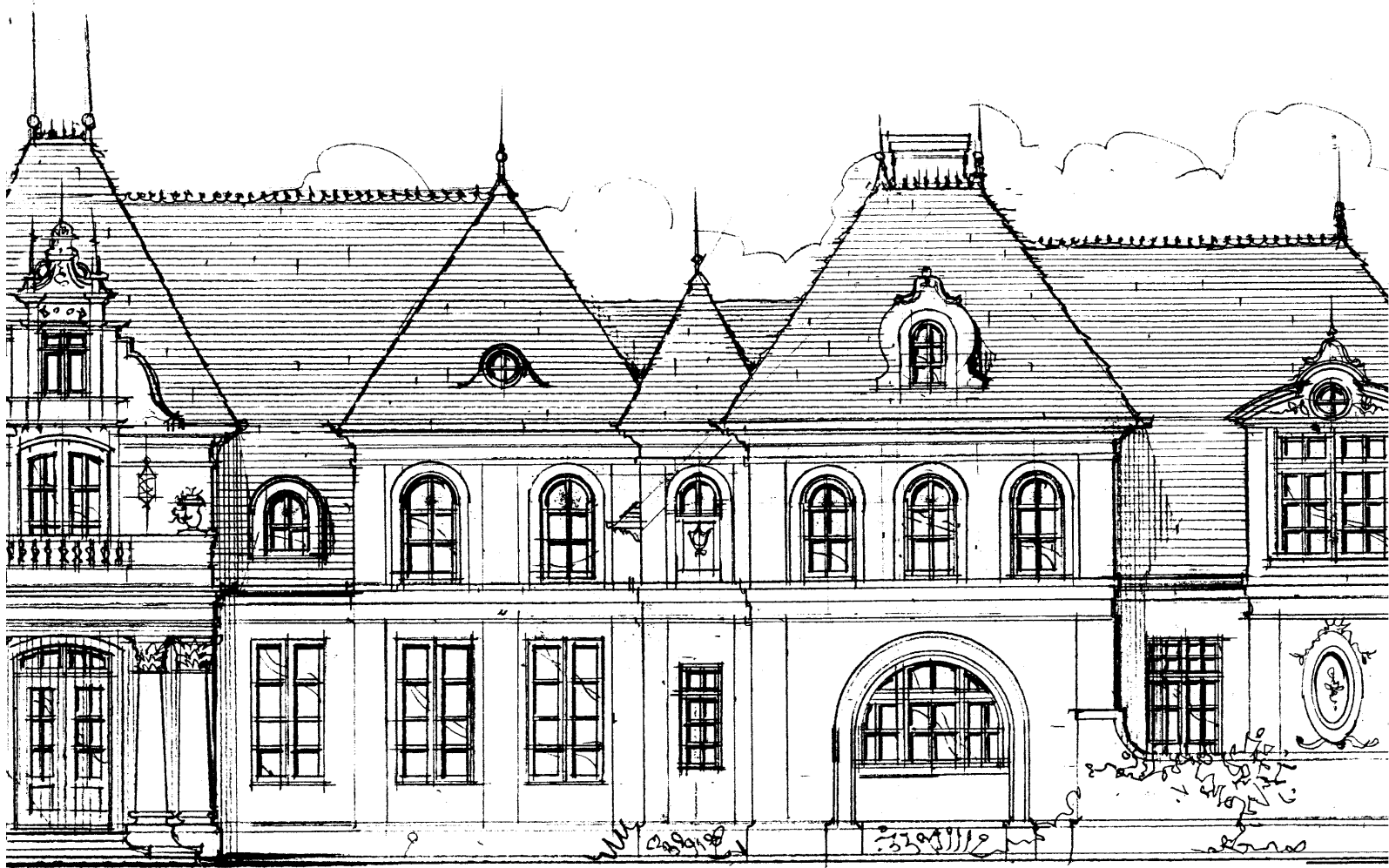
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CHAPTER I.

ALL ABOUT DESIGNING A NEW HOME

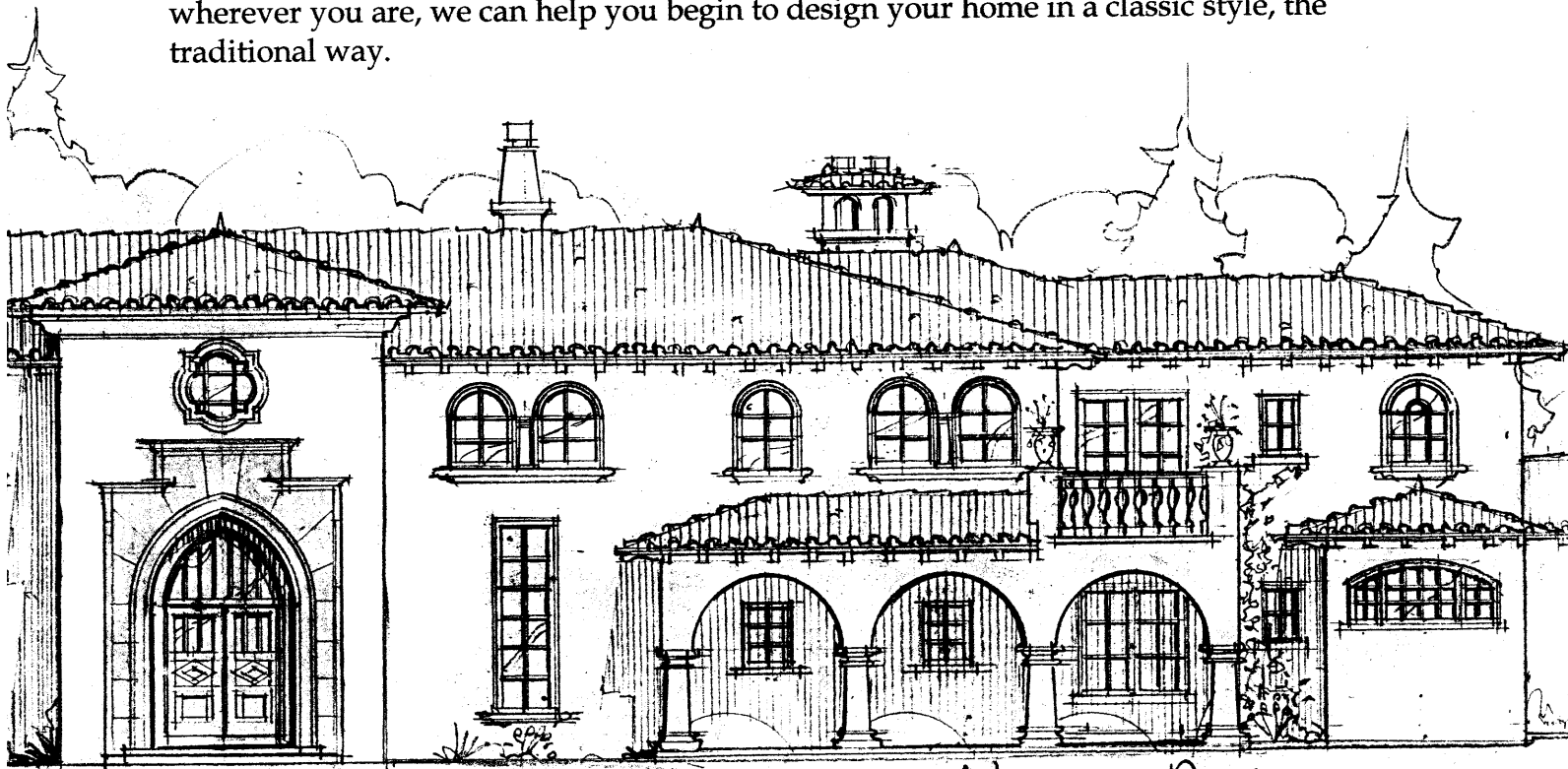


HOW WE'LL PREPARE CUSTOM DESIGN SKETCHES FOR YOU

We believe a house should be unique and designed to fit your personal lifestyle, and that it should be designed the old-fashioned way, with a pencil, not a computer. The process is simple and time-honored. You tell us what you want and wish for, what your dreams are, we translate that into schematic sketches, hand drawn in the traditional manner, which illustrate the design in plan and elevation.

These sketches, stylized to create the particular look and feel you're searching for, are the framework for all the steps to follow! They are imbedded with the design clues that will carry through to the final house completion and will serve as guidelines for subsequent working and technical drawings for construction.

Mark has designed many fine houses exactly this way. A lot of them were built in Colorado, where Mark has been a registered architect for over 30 years, but Mark has designed homes on the Pacific coastline, on the east coast, in the desert Southwest, in Virginia, Kansas, and many other places for "long-distance" clients. Almost wherever you are, we can help you begin to design your home in a classic style, the traditional way.

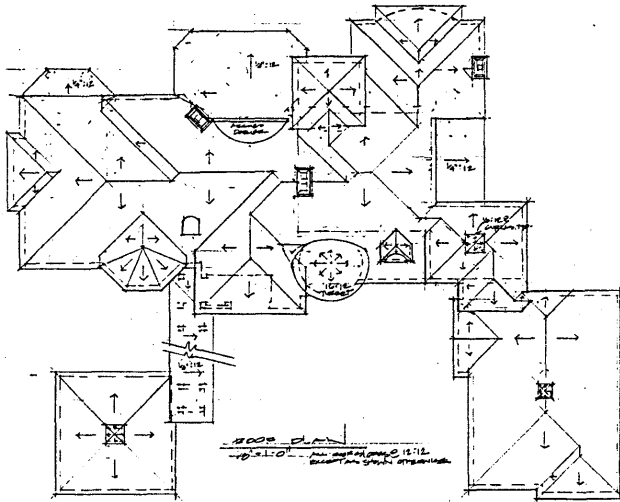


A. Mark Nelson
ARCHITECT

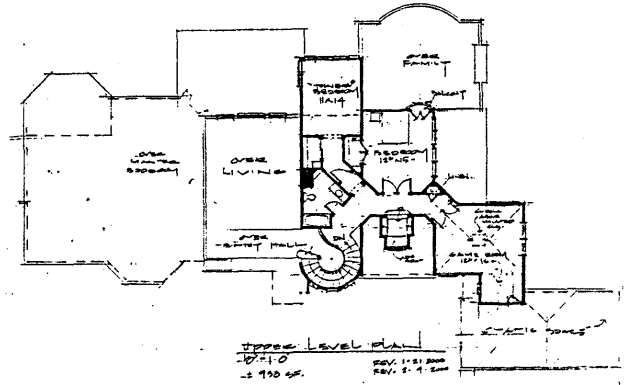
DESCRIPTION OF SERVICES & FEES

BASIC SCHEMATIC DESIGN SKETCHES:

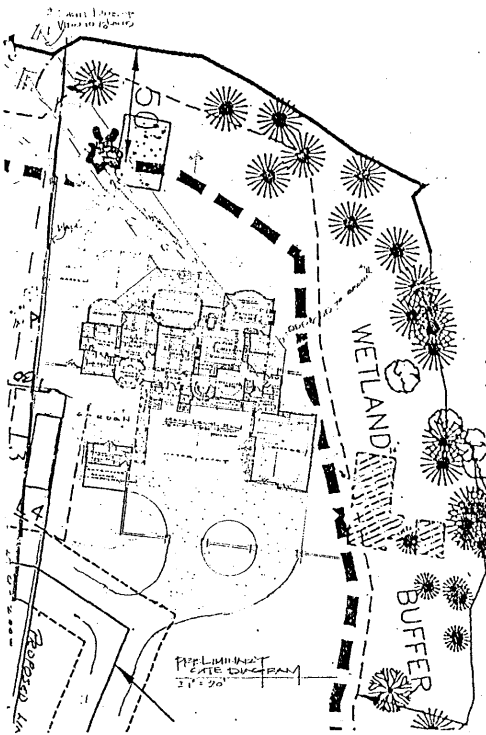
These drawings are the real framework of every house design, and are usually comprised of 1/8" scale Floor Plan(s), a 1/8" scale main or front Elevation, a Roof Plan and a Site Diagram.



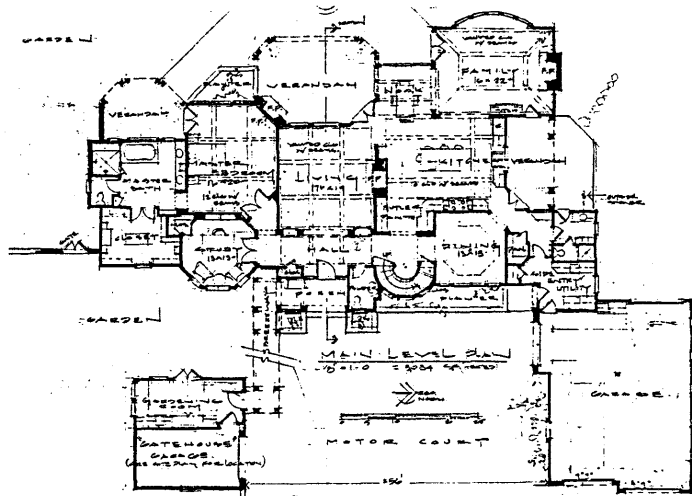
ROOF PLAN



UPPER LEVEL PLAN



SITE DIAGRAM



MAIN LEVEL PLAN



ELEVATION

COST OF SERVICES FOR BASIC SCHEMATIC DESIGN

SKETCHES:

\$1.50 per square foot. Initially the client estimates the size of the house to be designed. (___ square feet under roof X \$1.50 = estimated fee)

TERMS:

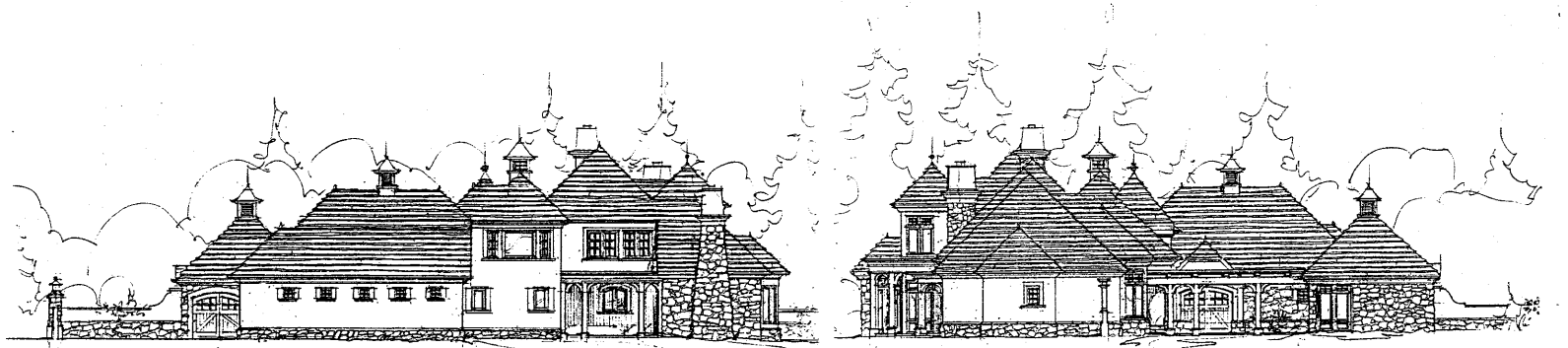
Client submits program information, design parameters and ideas, site information and site photos for review. After initial email and/or phone consultation and to commence the design work, the client sends us 1/2 of the estimated fee along with the order form agreement. We design the house and send back the basic schematic design sketches, similar to previous page. The client reviews sketches and notifies us of any desired minor modifications, sends us the balance of the fee (now calculated from designed square footage under roof, i.e. interior space, covered exterior space, garage(s), anything covered and useable; square footage is calculated to the outside of and including walls and columns), then we update the basic schematic design sketches as needed one time and send them back for the client to use.



J. Mark Nelson
 A R C H I T E C T

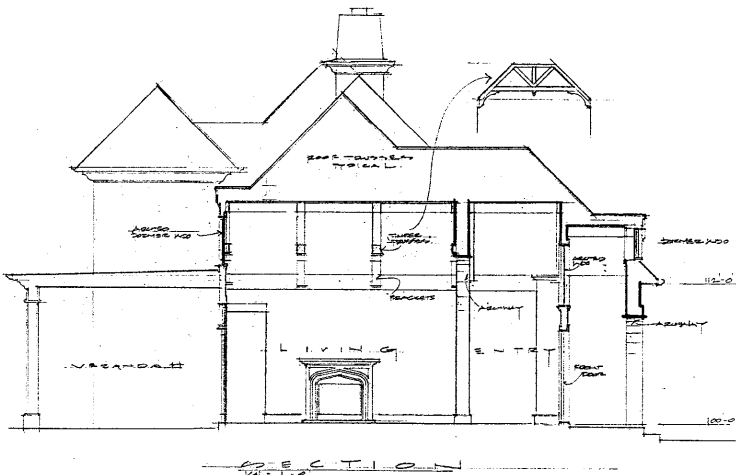
SUPPLEMENTAL SCHEMATIC SKETCH SERVICE:

Complementing the Basic Schematic Design Sketches, these additional drawings give you a fairly complete picture of what your house will look like, and usually include (3) additional 1/8" scale Elevations, and a 1/4" scale key section through the house.



ELEVATION

ELEVATION



SECTION



ELEVATION

COST OF SERVICES FOR SUPPLEMENTAL SCHEMATIC SKETCH SERVICE:

\$1.00 per square foot under roof.

TERMS:

Client sends us the full amount required, that is \$1.00/square foot of space as defined in the Basic Schematic Design package, or as the client estimates at this time if ordering both Basic and Supplemental Schematic Design Sketches at the outset. We prepare and send back the completed sketches for the client to use.

“THUMBNAIL SKETCHES” SKETCHY CONCEPTUAL DIAGRAMS

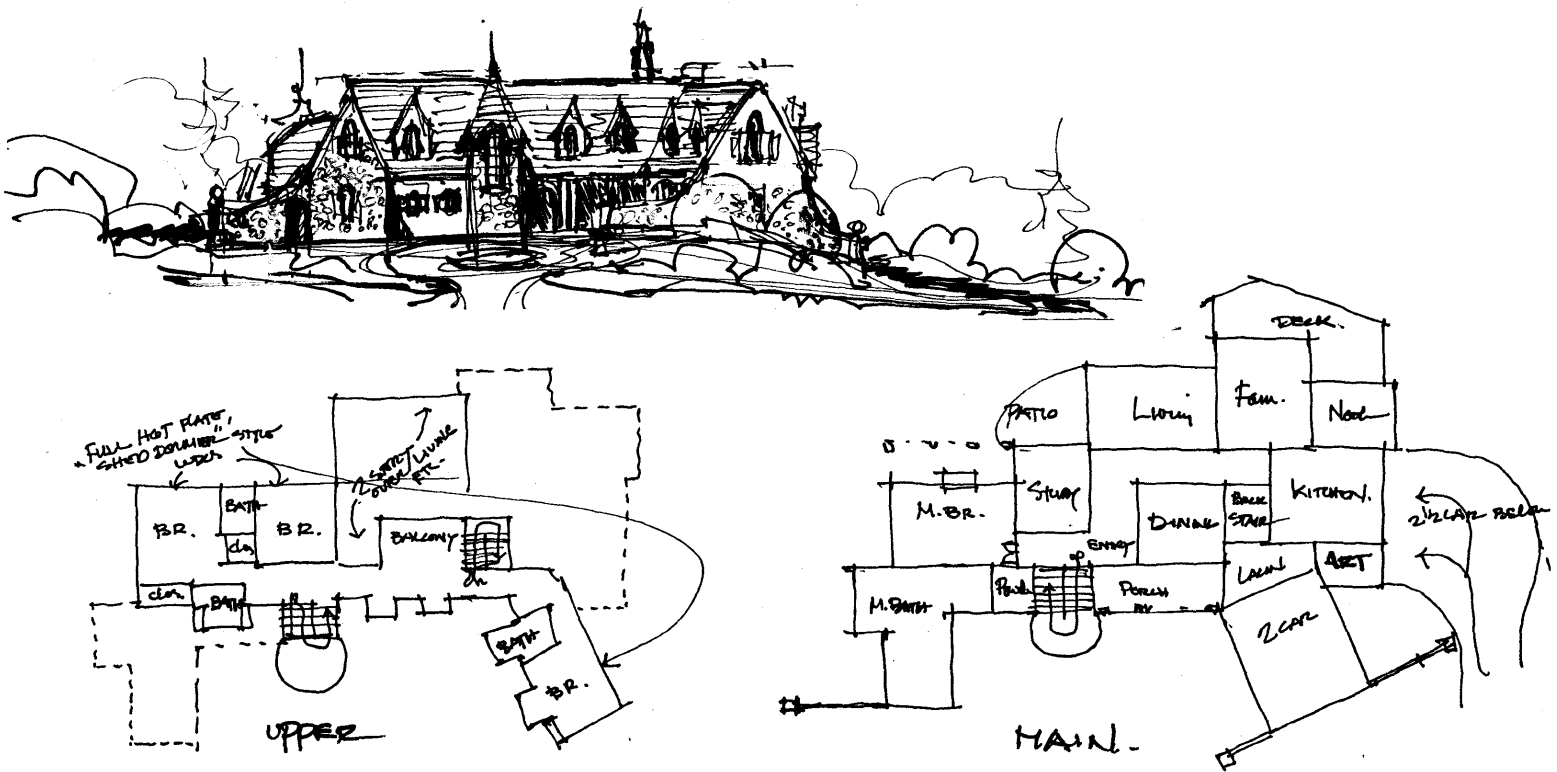
While we know we will translate all of your good information into a good schematic design, you may want to follow more closely how we actually do that. For those clients we offer the extra service of first creating and sending to them a very sketchy diagram, or “thumbnail sketch” of what we’re thinking initially.

A thumbnail sketch is just that - very small and sketchy and not quite complete or to scale, but exploring the ideas very quickly for a plan and front elevation. We should warn you that we don’t always present these thumbnail sketches to our clients as they can be kind of abstract-- they are really just our own first “doodles” or attempts, so they certainly won’t be as polished as your schematic sketches are going to be, and may actually change substantially in translation.

However, for an additional charge, we’ll prepare them in a way that they can be sent to you to review before commencing the actual schematic sketches. “Thumbnail Sketches” can only be provided as an extra to Basic and Supplemental Design Sketch Services; not sold alone or separately.

COST OF SERVICES:

Additional \$.25 per S. F. added to Basic Schematic Sketch Service cost



CLIENT ORDER FORM & AGREEMENT FOR PRELIMINARY ARCHITECTURAL DESIGN SERVICES

BETWEEN

J. MARK NELSON
1815 NORTH NEVADA AVENUE, CARRIAGE HOUSE
COLORADO SPRINGS, CO 80907

AND THE OWNER

(ALSO HEREIN REFERRED TO AS THE "CLIENT")

OWNER'S NAME _____
ADDRESS _____
CITY, STATE, ZIP _____
EMAIL _____
TELEPHONE _____

FOR THE FOLLOWING SINGLE FAMILY DWELLING PROJECT:

SITE ADDRESS (IF KNOWN) _____

PROPERTY LEGAL DESCRIPTION OR
DETAILED DESCRIPTION OF PROPERTY:

J. MARK NELSON SHALL PROVIDE CONCEPTUAL AND SCHEMATIC DESIGN SKETCHES ONLY, FOR THIS DWELLING PROJECT, AND AS FOLLOWS AND IS FURTHER EXPLAINED IN THE 2003 GUIDEBOOK DESCRIPTION OF SERVICES AND FEES.

(CLIENT TO SELECT EACH SERVICE REQUIRED)

AMOUNT ENCLOSED

- BASIC SCHEMATIC DESIGN SKETCHES
\$1.50 PER SQUARE FOOT, 50% OF FEE DUE AT TIME OF ORDER
\$1.50 X _____ SF = \$ _____ X 50% = \$ _____
- SUPPLEMENTAL SCHEMATIC DESIGN SKETCHES
\$1.00 PER SQUARE FOOT, FULL AMOUNT OF FEE DUE AT TIME OF ORDER
\$1.00 X _____ SF = \$ _____
- SKETCHY CONCEPTUAL DIAGRAMS – "THUMBNAIL SKETCHES"
MAY ONLY BE PROVIDED AS AN EXTRA TO BASIC AND/OR SUPPLEMENTAL
DESIGN SKETCH SERVICES
\$.25 PER SQUARE FOOT, FULL AMOUNT DUE AT TIME OF ORDER
\$.25 X _____ SF = \$ _____

TOTAL AMOUNT ENCLOSED WITH THIS ORDER: \$ _____

The Owner shall provide full information about the objectives, criteria, constraints and conditions of the project, including a detailed program and design ideas and parameters. The Owner shall furnish a survey, other site information and photos as

noted in the Guidebook section "Site Information Needed" and sufficient for commencing schematic design. It is the Owner's responsibility to discover and provide complete and accurate information about the site and the Owner shall be responsible for complying with all requirements and restrictions applicable to the site and project. The Owner assumes all responsibility for completing subsequent Architectural, Engineering and other services with the help of professional consultants as needed to complete the design and construction of the project according to the Owner's needs, budget, the detailed constraints of the site, and to meet all local codes, ordinances, covenants, restrictions and requirements. Any estimating shall be provided by the Owner's separate consultant. Any Budget and conformance thereto shall be the sole responsibility of the Owner.

Payments and compensation to J. Mark Nelson shall be calculated and remitted by the Owner according to the "Cost of Services and Terms" outlined in the Guidebook "Description of Services and Fees". Such services shall be considered fully complete when delivered to the Owner unless minor modifications are requested by the Owner, upon which J. Mark Nelson will incorporate as reasonably as possible the requested minor modifications into the Schematic Sketches for final delivery to the Owner to complete this Agreement. Requests for major changes to the arrangement, scope or content of the Schematic Design Sketches shall be deemed additional services and shall be compensated for to J. Mark Nelson at his current hourly rate and/or as agreed to by both parties prior to the changes.

In this proposal for the schematic design of a dwelling and in the Guidebook or separate advertisements discussing and describing architecture and design there shall not be construed any attempt by J. Mark Nelson to represent himself as a licensed Architect in any state or place other than Colorado and Arizona. This proposal or offer shall be invalid in any state where it would be prohibited by regulations or licensing requirements.

J. Mark Nelson retains all authorship rights and copyrights to the drawings and sketches he prepares, and releases them only to this Owner for the Owner's use on this specific project.

The services herein shall be provided according to the "Terms" herein under "Description of Services and Fees" with reasonable expedience as allowed by normal scheduling and professional care.

Due to J. Mark Nelson's services being limited to conceptual and schematic design sketches only at this time, the Owner exempts J. Mark Nelson from any liability due to any act, error or omission and shall indemnify and hold him harmless from any claims thereof.

This agreement entered into on the date below the Owner's Signature

Owner's Signature

J. Mark Nelson

(print name)

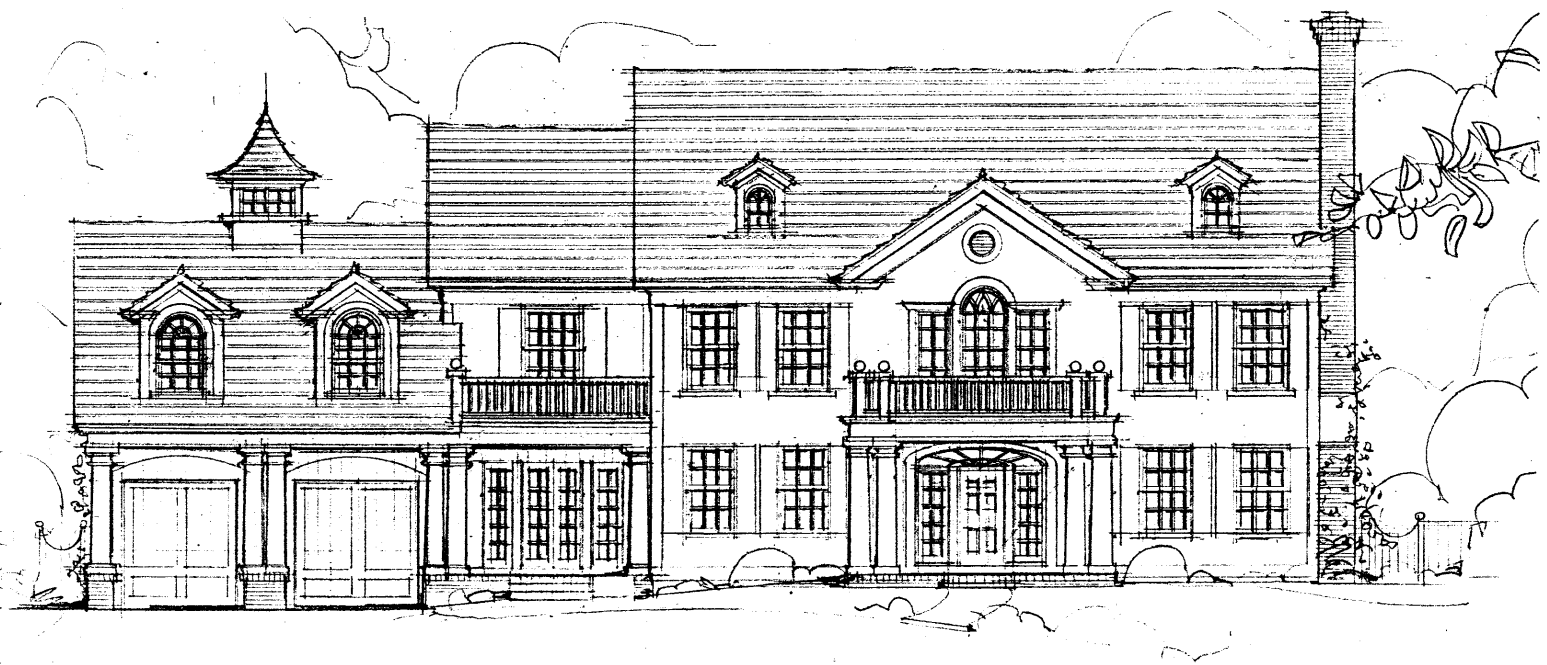
(date)

WHAT TO DO WITH YOUR SCHEMATIC DESIGN SKETCHES

Now, after you've received the design sketches for your dream house from us, you'll have in your hands a very valuable tool. With the schematic design done you can continue to work out all the details for having your house built exactly the way you want it. Our clients often first use their design sketches in interviewing quality-oriented contractors in order to start selecting which one they want to build their home. They also ask for ballpark estimates of the cost so they know what to plan on *before* proceeding with the expense of detailed working drawings. This reality check is useful in setting your priorities and making any necessary adjustments (and its much more timely to do that at this point, rather than after you've finished a lot of expensive construction documents).

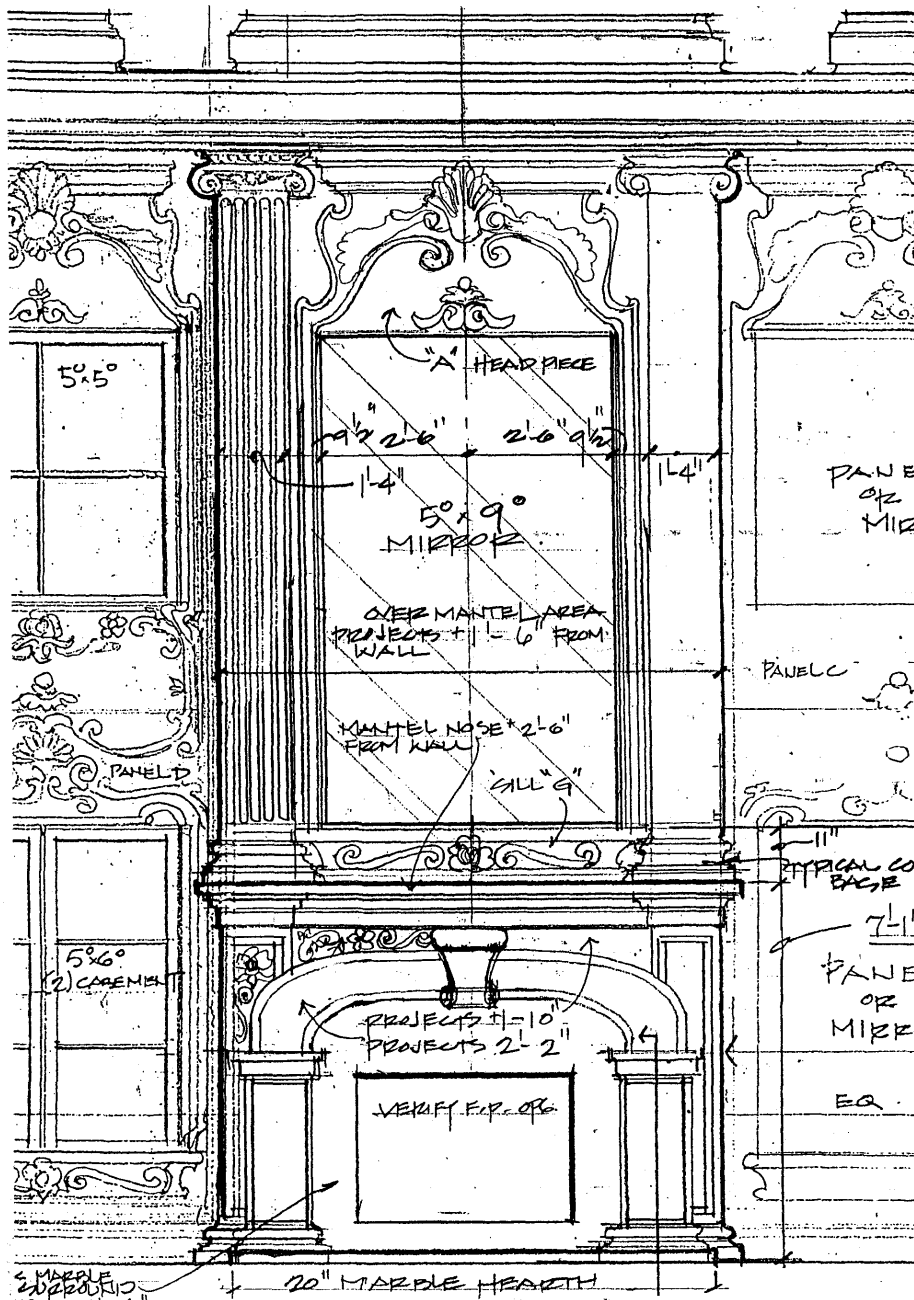
When you're ready to go ahead beyond schematic design, use your design sketches to interview and select a "team" of qualified and talented professionals who will continue the design and construction process. Your design sketches will give you a very clear picture of what your dream house will look like, but there is still a lot of detailed planning and work to do: the next step is "working drawings." Mark Nelson can provide Architectural Working Drawings on a negotiated fee basis, usually based on current hourly rates; see:

HOW TO GET WORKING DRAWINGS FOR CONSTRUCTION



OTHER ADDITIONAL DESIGN SERVICES

Some clients may wish to have even more design drawings prepared by us. We will be happy to provide what you'd like and will negotiate the terms of payment (usually hourly) with you as needed. Although our volume of design work limits the number of projects we take on for architectural working drawings or full architectural services, we can also further explain and outline how we might provide these to clients who wish to have us involved more thoroughly, and of course in full compliance with the professional requirements of the client's home area.



HOW TO GET WORKING DRAWINGS FOR CONSTRUCTION

The working drawings based on your schematic designs can probably be produced many different ways, but we would always recommend you hire the best local Architect you can find to continue working with. There may be other types of design professionals in your area who can prepare construction drawings to meet local codes, regulations, and standards, - but a good Architect will always do the best job. Remember that your schematic design sketches will guide you through this end of the process, outlining the size, shape, style and character of the home you are creating. Think of architectural working drawings as simply drawing everything you have in your schematic design sketches on a larger scale to be able to add exact dimensions and more information, and adding details for construction and code compliance. Additional specific parts of the house are also drawn now and shown in greater detail, and the architectural features of the house (windows, doors, fireplaces, built-ins, materials, ceilings, etc.) that are to be in the house are incorporated in more elevations, sections, plans, reflected ceiling plans, schedules and notes.

J. Mark Nelson can in some cases be available for these subsequent architectural services (Mark is a licensed architect in the states of Colorado and Arizona). Some states and principalities require an architect or engineer licensed in your area to provide construction drawings and/or full architectural services and if that is your situation we recommend you hire the best local Architect you can find who is in tune with your classic architectural design.

We require that you utilize the services of qualified Structural and Geo-Technical Engineers on the project. In addition, the mechanical and electrical systems need to be designed to your satisfaction. Some clients look to a professional lighting consultant to provide state of the art lighting design. Media and communication systems designers are often involved during design. Interior Designers can be involved at early stages to begin to plan the character and comfort and furnishing of your finished home. A kitchen specialist will surely be involved. And these days many clients want to involve sustainability and energy systems consultants (building scientists) to enhance the performance of a the house, perhaps to seek 3rd party certification such as LEED, for example. While many of these services are provided "a-la-carte" to homeowners and builders these days, nothing can replace the value of having a good Architect working with you to help coordinate all these facets of creating a fine home.

One new facet of our services now is that we can have a 3 dimensional computer model made of your home after completion of Basic and Supplemental Schematic Design. In addition to you being able to fully view and manipulate the model yourself with available free software and a little coaching, we can derive part or all of the working drawings directly from this model. Then we can create a video of walking up to, around and through the house. Our clients have had a lot of fun being able to see things in 3D before anything gets built, and the model is extremely helpful to contractors and tradespeople as well.

TEN STEPS TO CREATING YOUR DREAM HOUSE

- 1) Client email and phone and contact information is established. Client sends in complete Program and Design Parameters, with site information and photos (and as-built drawings for Transformation project)
- 2) Contact is made to review Client's design needs, site, and program requirements., and to answer questions.
- 3) Client sends in check for ½ of Basic Schematic Design fee with completed Client Order Form & Agreement to commence design.
- 4) Basic Schematic Design is created (optional "Thumbnail Sketch" can be initially provided for Client's review).
- 5) Client reviews Basic Schematic Design sketches and "redlines" in desired minor modifications (if any) and returns them with balance of fee to J. Mark Nelson. Basic Design Sketches are completed and transmitted to Client.
- 6) Proceed with (optional) pre-paid Supplementary Schematic Sketch Services. Completed sketch package transmitted to Client.
- 7) Client uses Schematic Design Sketches to continue the process:
 - ◆ Continues working with Mark Nelson (or professionals from the clients locale) to obtain 3D modeling, Architectural Working Drawings and other as-needed services
 - ◆ Includes other specialists and consultants as needed
 - ◆ Interviews contractors to ballpark construction cost and begins to select one to work with
- 8) Working drawings are completed with Client's schematics as the design guidelines. Contractor prepares for construction (final pricing, permits and other approvals, contract for construction, etc.)
- 9) Build. Of course this is the biggest step of all, and while we don't want to minimize that, we know a good design can make all the effort worthwhile.
- 10) Move in/ enjoy life in your dream home.



Selman

CHAPTER II.

HOW TO TELL US EXACTLY WHAT TO DESIGN FOR YOU

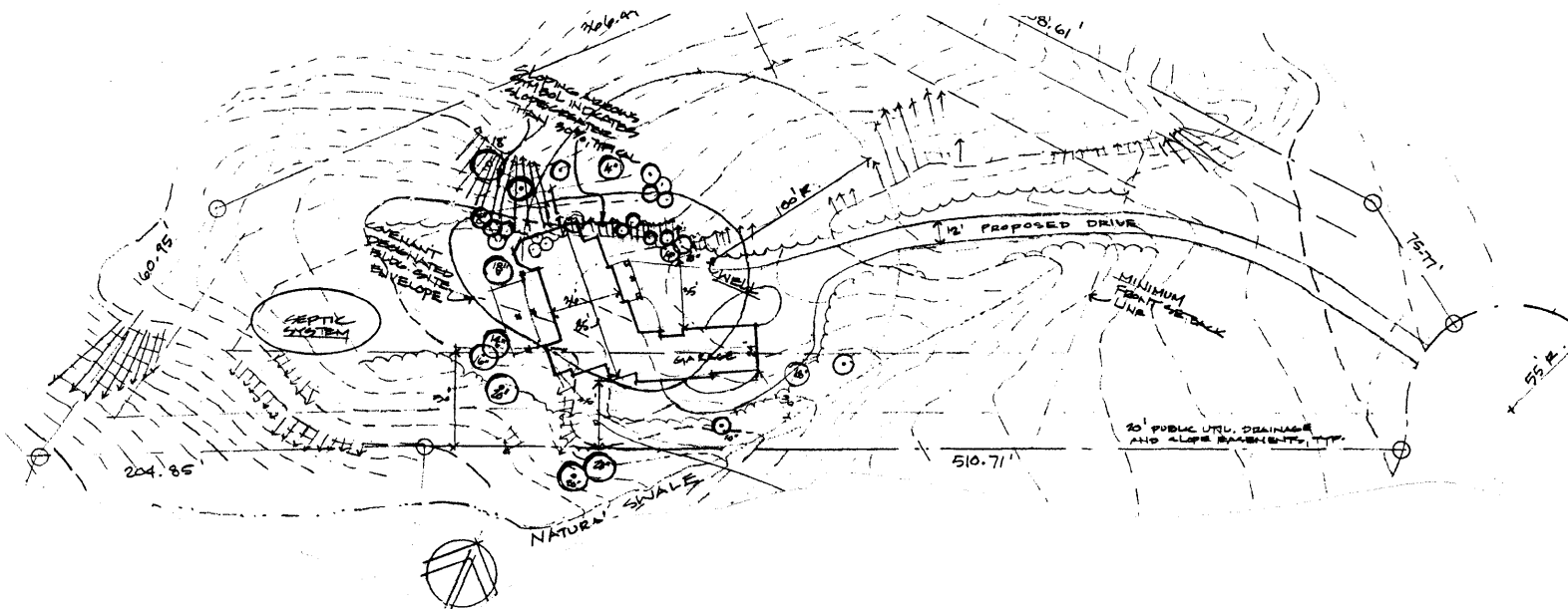


A. Mark Nelson
ARCHITECT

SITE INFORMATION NEEDED

It is important for you to provide as much detailed information about your site as you can. Many building lots or sites have detailed, certified surveys that show the boundaries, property line dimensions and orientation, and whatever physical information can be recorded about topography, utility locations, easements, vegetation and trees, existing features or structures, roads, streets, access and right-of-ways, adjacent properties and uses, "no-build" areas, common areas, preservation areas, streams, drainage ways and patterns, rock formations, special natural or geologic conditions, etc. These are all important to designing and siting your home. If a complete certified survey can not be obtained, the schematic design may not be as well sited as it should be, depending on what information is missing.

In addition, most areas have local restrictions about use, zoning, allowable lot coverages, setbacks, height, parking and access, building footprint locations, and often have detailed covenants, and/or building development and architectural regulations. It is your responsibility to provide us with all the local information, requirements and restrictions we need to know in order to show a schematic site diagram and design your house on the land. The more information you give us about the special features your site has, such as views, or concerns, such as surroundings, the better job we can do placing it to take advantage of such attributes, or avoid negative features. In addition to the physical data and drawings of each site, we like to have numerous photographs taken to give us the feeling of being there. A wide angle lens is highly recommended, and the more photos from various viewpoints both on and off the site the better, particularly if you can show us approximately where those viewpoints are on your site survey drawing. We also like to have pictures from important viewpoints with a series of consecutive shots to make a "panorama" of connected photos. Don't forget to take some pictures looking at what you think will probably be the location of the front of the house, say from across the street for example, so we can imagine the right "presence" of your house there. It often takes three or four rolls of film to take complete pictures of an average lot to work from.



You do not have to write your list this way, if you prefer to, just start writing down everything you can think of in no particular order:

- Master bath with large walk-in closets
 - Soaking tub with pillars
 - Double vanities - not side by side
 - Study off master bedroom
 - Exercise room adjacent to master bedroom w/ treadmill & equipment
 - Would prefer city lights and mountain view from master bedroom
 - Wall for entertainment center to watch TV from master bedroom
 - Foyer with columns to define space
 - Dining room 14x16??
 - 10' ceilings in main rooms
 - Breakfast nook, lots of glass, generous space
 - Family room/ kitchen/ nook combo
 - Pantry
 - Kitchen standard downdraft top, double ovens and microwave (medium), compactor, dishwasher (1)
 - Access from kitchen to deck
 - Would love to have arched fireplace (gas) with raised hearth and built in gas grill adjacent on terrace.
- Etc...

Some people visualize and walk me through their house:

"My thoughts as we enter the house: enter double glass doors into tiled, wide foyer with wall straight ahead. Arches on both sides of wall. To the left is a mudroom that connects with the garage, and next to that is a powder room. To the right is a large arched window. On either side of the entry doors are armoire type guest coat closets. Continue through the arch on the left and you look down a wide hall to the doors to the study (arched 8'-3"x46", with beveled and leaded glass) breaking up the hall is the circular staircase. After passing through the arch, the dining room is to the left with halfwalls and columns. The living room is on the right with a high ceiling (12'??) and beams. There are two sets of French doors that open with wrought iron balconies..."

etc...

The point is there is not just one prescribed way to make such a list, as it needs to be an expression of your needs, taste, ideas and feelings as much as a complete list of what you want in the house. Sometimes we even get two separate lists from spouses, and we get to "mediate" them into a design that answers as much of each as possible.

WRITING A PROGRAM, OR HOW TO MAKE A LIST OF WHAT YOU WANT IN YOUR HOME; SO THAT WE CAN TRANSLATE IT INTO A PLAN

Most people give us a list of rooms, perhaps organized into a series of floors or levels, i.e.:

First Floor

- Living Room
- Dining Room
- Kitchen
- Powder Room
- Etc...

Usually under each room follows a description of the room, its' size (if known) and special features, such as:

Family Room

- About 20'x24'
- Off kitchen for one large social area
- Large fireplace
- French doors to covered patio with fireplace
- Entertainment center

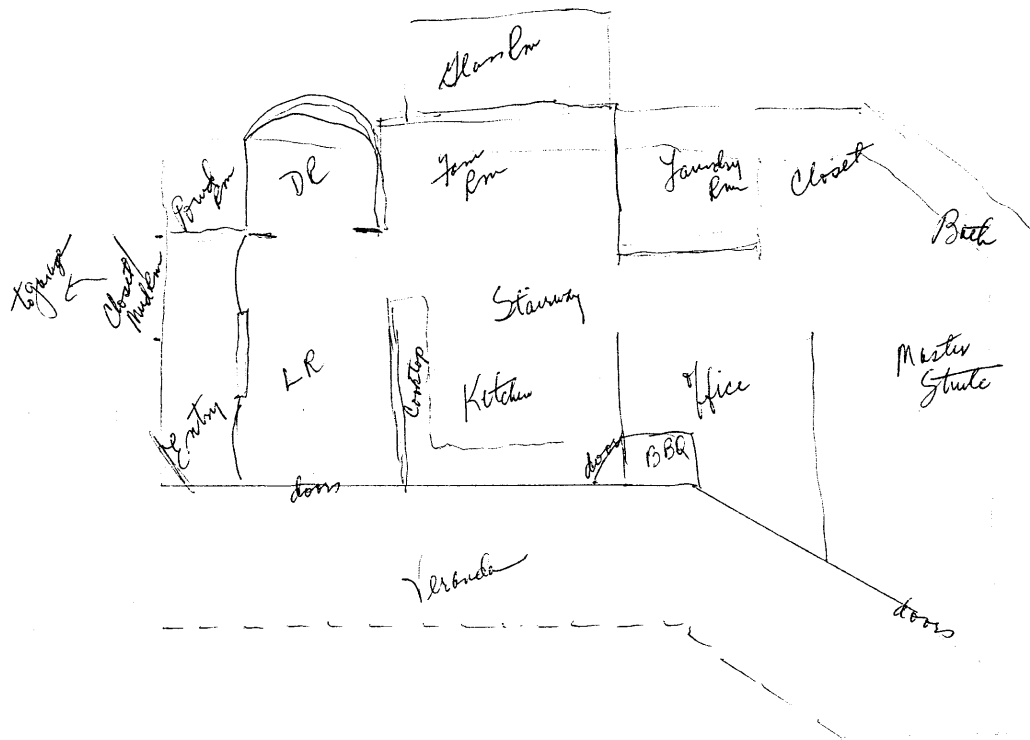
Entry

- Huge single door surrounded by glass
- Flooring same as throughout house (wood)
- Stairway not in entry if possible
- Powder room off of entry/great room
- Etc...

ABOUT WRITING DOWN DESIGN IDEAS & PARAMETERS

As you can see, most often people's lists begin to describe much more than a floor plan. Architectural features, both inside and outside are listed, along with special details, materials, windows, places for important furniture (give measurements if you can) and even how you want a space to feel are all important.

Some people also sketch plans for us, which is helpful.

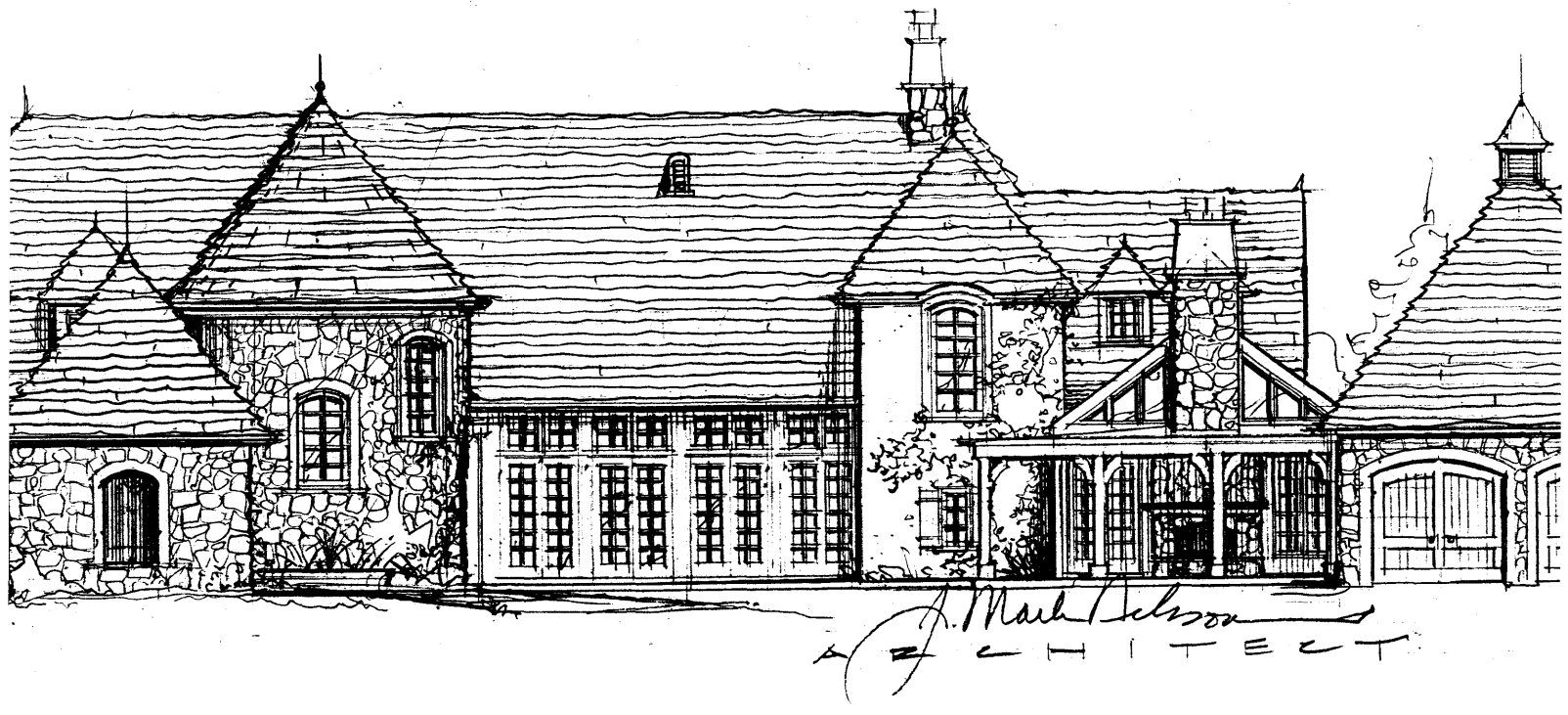


It is important to think about what size space you need, both in plan and height. Some people tell us what size home they have now, what room sizes they have now, and how they want that to stay the same, get bigger, or perhaps smaller.

Most often, clients provide a file of clippings of ideas they've seen in magazines with photographs of spaces, rooms and houses they've seen that have certain features that appeal to them.

STYLE

We can show you many of the architectural styles that we like, but now it's your turn to tell us what you're thinking here. You may already know exactly and describe it or show us similar examples. But quite often there is more than one possibility that will work for your home and your site, and if so we'll be happy to take a few alternative architectural style ideas from you and come back with what we think works best to synthesize your plan and ideas into something beautiful, something timeless.



CHECKLIST

Just as a reminder of some of the things that are helpful to know, here's a random checklist of some basic things to think about and tell us:

- Overall estimated square footage of house
- A list of rooms, sizes, and preferred general locations, if possible
- Description of each room or space, if possible, with the features you want it to have
- Ceiling heights
- Window types and special windows
- Door types and special doors
- Special furniture requirements and sizes
- Important relationships between various rooms and spaces, and to the outdoors
- What rooms are optional, or flexible in their use or location
- Special architectural features and details you would like to incorporate
- Degree of openness and flow from room to room you like
- Interior materials, like floors, doors, and mouldings that you have in mind
- Exterior materials you want or like, and/or particular exterior details or features
- Architectural style, or optional styles, perhaps a "time period" for the house to "be from".
- Roof line and shape ideas
- Kitchen arrangement - how do you like it to work?
- Kitchen appliances, materials, cabinetry and storage
- Closet and storage requirements and ideas
- Stair ideas, style and railing materials
- Fireplaces
- Bathroom fixtures, cabinetry, space needs
- Ideas for built-ins; bookshelves, window seats, desks, casework, etc.
- Garage requirements and ideas
- Places for views out
- Degree of light you would like in various rooms
- Need for and degree of privacy - room to room or inside to outside



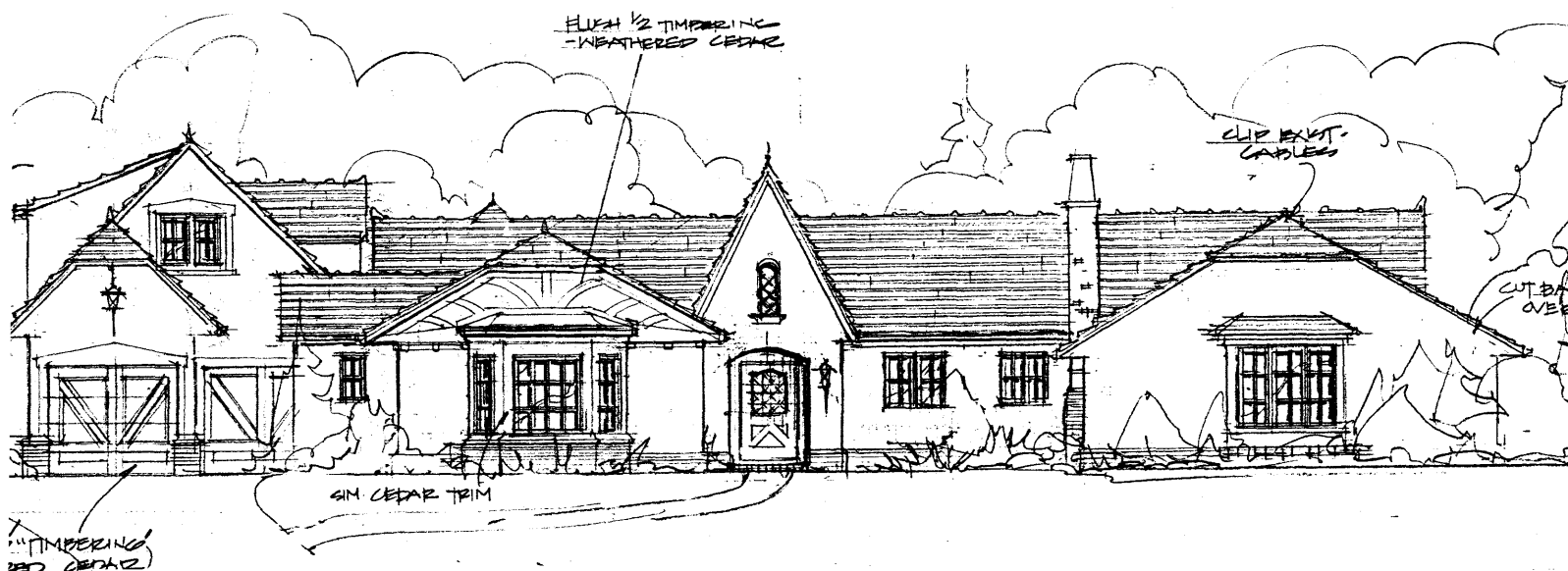
CHAPTER III.

HOW TO "TRANSFORM" YOUR EXISTING HOME INTO YOUR DREAM HOME



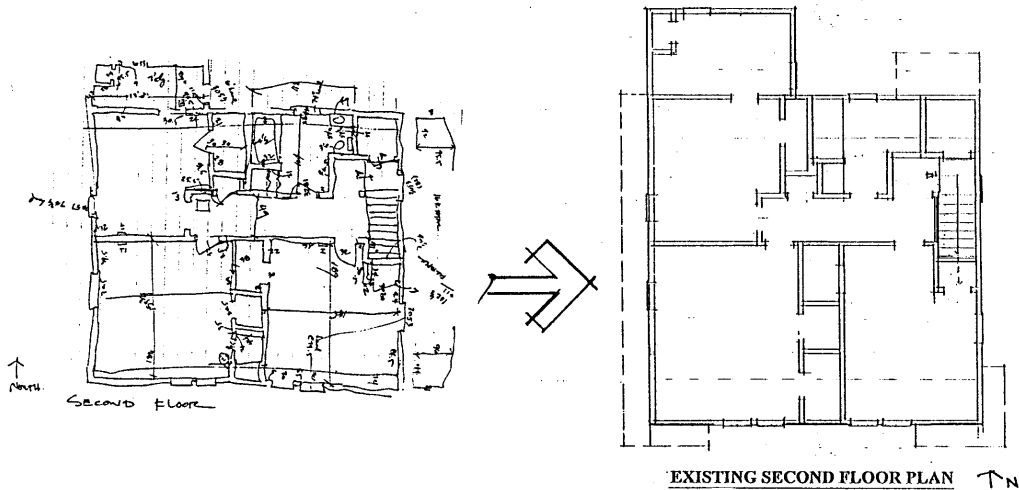
"TRANSFORMING" YOUR EXISTING HOME

Many of the sketches you'll see done by Mark are designs for adding to and remodeling existing homes. Some are sensitive and complementary additions and renovations to places that already are quite charming and unique. Others are complete makeovers, literally transforming tired and dreary houses into gracious homes. Often we'll take one of those generic ranch homes from the 50s, 60s, or 70s and take it back in time to look like a grand home from the early 20th century, with a story and a half or two story roof line and other deft changes. The key is finding the most efficient way to transform your existing home into a better-functioning and more attractive one.



AS BUILT DRAWINGS AND PHOTOS

The design process for additions/remodels follows a similar path to designing a new home except that good "as-built" drawings are essential to begin with. You may be fortunate enough to already have such plans in your possession and can send us a copy. If not, you must create them for us. Many of my clients have measured their own homes, then had a draftsman assist with translating that information into a simple set of "as-built" plans and elevations. Or you can hire someone to do both the measuring and drawing. Your draftsman should draw all important as-is elevation drawings of the house, particularly of any side of the house which will likely be changed. We don't care if the as-built drawings you provide us are hand-drawn or CAD-drawn, as long as they are fairly accurate and to scale. The more information you discover and record for us about the existing house the better we can restyle, remodel, and renovate it.



We also work from a collection of photographs of existing projects. Depending on the size it may take several dozen to a couple hundred pictures to go completely around and through your home to record all the exterior and interior views. A wide-angle lens and flash are highly recommended, and the more photos from various angles the better. We like to shoot most homes and sites from strategic viewpoints with a series of overlapping shots that can be joined together to form a very wide view and so get more a "feeling" of standing on the site, or in the room etc.

PROGRAM, PARAMETERS, IDEAS, STYLES, CHECKLIST

All that information listed in Chapter II is needed here as well. Try to think about what's right or wrong about the way the existing house works and fits on the site and tell us about it.

SITE INFORMATION

As with new plans, the more information you send us about your existing house site, the better job of design we'll do with it. Send in all survey information listed in chapter two's "Site Information Needed," and send photos of the site and surroundings of your house.



A. Mark Nelson
ARCHITECT
The Architect retains all rights and copyrights to this architectural design.

COST OF TRANSFORMATION SERVICES:

For a major whole house restyling and renovation project, calculate the cost of services the same as for a new house, adding together the existing square footage with the estimated new square footage that probably will be added to get the total square footage under roof. Choose Basic Schematic Design Sketch Services @ \$1.50 per square foot, and if you want, Supplementary Design Sketch Services @ \$1.00 per square foot, and "Thumbnail" Sketch Diagrams @ \$.25 per square foot.

Now, not all restyling projects will fit this process. If yours seems not to fit, but you still want us to help, please send in as much information as you can. We will review your request and we'll suggest a process and payment proposal that works more specifically for your project.

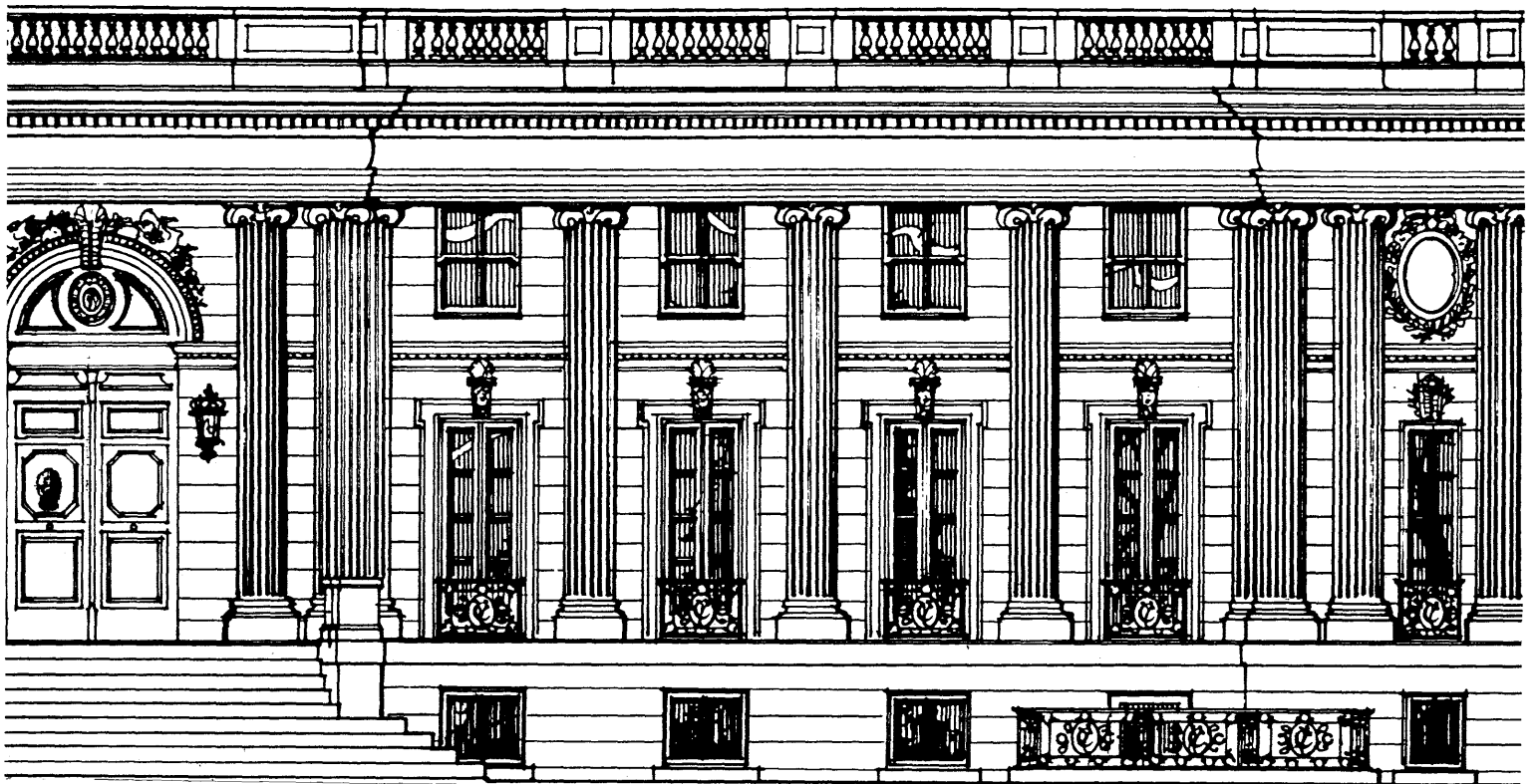


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CHAPTER IV.

OTHER CONSIDERATIONS

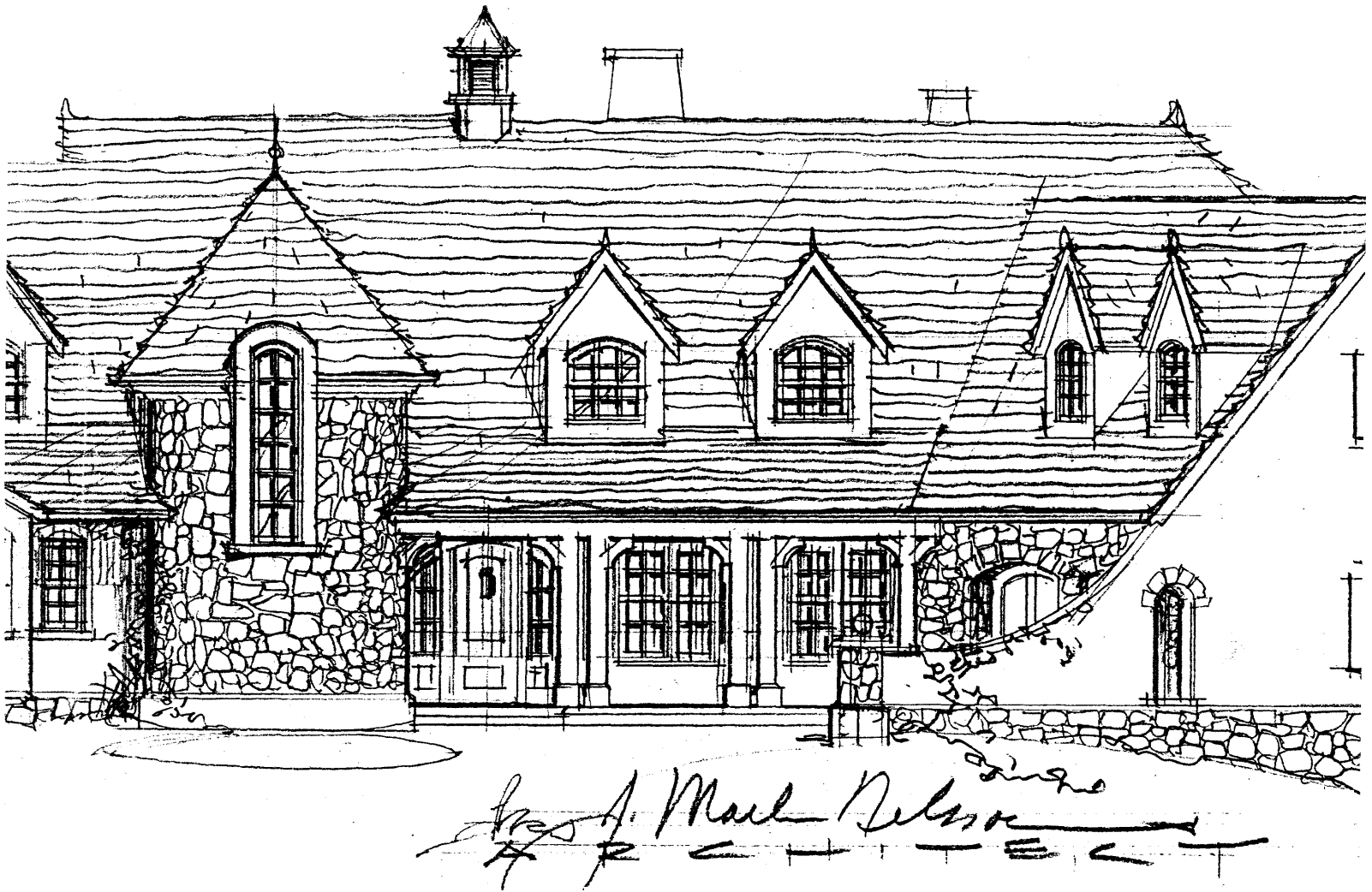


ABOUT TRADITIONAL HOUSE DESIGN

There are a lot of buzzwords floating around about how you should define your house design. While most of these address valid aspects of design, not one of them should be considered the exclusive paradigm for designing a home. We feel the best design approach is an inclusive one that draws from the best of history, current cultural ideals, and technological systems.

Traditional homes usually are very comfortable. They draw on the best tradition of design to fit climate and location. Traditional materials are usually of good quality and long life. Good traditional homes are designed and built to last for generations instead of becoming obsolete and disposable during the next fad. Traditional homes have efficient yet flexible plans that will be adaptable to a wide range of lifestyles and throughout a family's lifecycles.

We are committed to an approach to design that is respectful of the site and neighborhood. One of our favorite comments about our homes and remodels is, "It looks like it's always been there."



ABOUT MEETINGS & SITE VISITS

Still not convinced this vicarious "long distance" design methodology will work for you? Some clients may expect that we meet them in person and see their site with our own eyes to be fully able to create the design needed. Just send us a letter explaining your situation in detail, and if you either want to come meet with us, or want to arrange a retainer and travel, etc. for us to come see you and your site, we will try our best to accommodate.



J. Mark Nelson
ARCHITECTS STUDIO

ABOUT COMPUTER MODELING

Computer Aided Drawing has its place in the world today, and may even be used on your Architectural Working Drawings. In fact we are embracing a new system of computer modeling using Google Sketchup to create 3D models of our designs that can be easily viewed and manipulated, from which 2D Architectural Working Drawings are directly derived.

We just don't create your design that way, in the beginning we rely on pens, pencils and paper to create your design. The time-honored methods of sketching and drawing do feel more human to us; perhaps more appropriate for our classic designs. Actually hand sketching and drawing is a lot quicker for us. It worked quite well for Thomas Jefferson, H.H. Richardson, Stanford White, Frank Lloyd Wright, and other great American architects, so we remain in good company.

